

ADDENDUM NUMBER 1

DATE: Monday November 18, 2024

PROJECT: 170 Moeller Street Renovation

PROJECT NUMBER: DELTA 2022.311.003

OWNER: Broome County Land Bank Corporation

CONSULTANT: DELTA ENGINEERS, ARCHITECTS, & SURVEYORS

TO: Prospective Bidders

This Addendum forms a part of the Contract Documents and modifies the Bidding Documents dated October 11, 2024, with amendments and additions noted below.

Acknowledge receipt of this Addendum in the space provided in the Bid Form. Failure to do so may disqualify the Bidder.

QUESTION:

1. The roof doesn't have ridge and ridge is required for slopes less than 3:12 please advise.

Response: All of the roofs shown on 4/A-102 have a slope greater than 3:12.

2. Perimeter walls don't have insulation please advise.

Response: Detail 1/A-301 depicts an "Insulated Sheathing Panel with Integrated Weather Barrier" to be installed over the existing sheathing.

3. Interior walls are covered with finish material on top of the plaster, are we removing the extra material until we get to the plaster

Response: See Addendum 1 revised sheet A-101 to clarify the removal of finish material over the plaster.

4. Walls are uneven, laminating on top of existing plaster will give the same uneven look is this acceptable

Response: Gypsum wall board is to be fastened to the existing framing, not laminated. The gypsum wall board is to be finished in a condition ready to receive paint.

5. Outside sheathing has water damage on some big areas, please advise.

Response: See Addendum 1 revised sheet A-200 to clarify the removal of damaged existing sheathing.

6. Since there is plaster on the walls the door frames will need an extension jamb or custom made frames to fit the wall.

Response: Existing door frame and trim to remain, gypsum wall board to abut existing wood door trim and finished.

7. Stair raisers and treads are in bad shape some of them are rotten and damaged.

Response: See Addendum 1 revised sheet A-200 to clarify the removal of damaged existing sheathing.

8. No insulations on the roof or attic floor by code we need r30 pls advise.

Response: Detail 1/A3-01 indicates 19" of blown in cellulose to be installed in the attic.

9. Does the ECCCNY scope apply to this project? If so, can Zone 6 Option 1 be used? What is the R-Value required by City of Binghamton for this project?

Response: The project is a Level 2 Alteration under the existing building code, only new components being installed are required to meet ECCCNY Chapter 4 for residential construction.

10. Can wall insulation be "dense packed" cellulose as alternative to foam board on exterior wall.

Response: The design intent is to provide a continuous layer of insulation on the exterior of the structure, densely packed cellulose in the wall cavity does not meet this intent.

11. If 2" foam board is to be installed, window openings will need to be "built out" to accommodate new windows. Will any further detail be provided regarding build out framing?

Response: Windows and doors are to be installed in a manner to accommodate the insulated sheathing panel thickness. Jamb extensions are to be provided at the interior. See Addendum 1 revised window schedule on A-601.

12. Door schedule appears to call for 1 3/4" thick doors. Standard residential doors are 1 3/8" thick and hollow core. Can 1 3/8" thick hollow core doors be used as an alternative for interior doors?

Response: Yes, 1 3/8" residential doors are to be used. See Addendum 1 revised door schedule on A-601.

13. Can contractor elect to demo all interior ceiling and walls surfaces down to 2x framing and replace with GWB and new wood baseboard trim instead of installing GWB over existing plaster walls?

Response: Yes, this is acceptable, however per ECC503.1, if the existing wall cavity is exposed during construction, then the wall cavity must be filled with insulation.

CONTRACT DOCUMENTS – PROJECT MANUAL

SECTION 015000 **ADD** subsection 1.05: "Contractor and sub-contractors to coordinate access to shared driveway with neighbor."

CONTRACT DOCUMENTS - DRAWINGS

A-100 ARCHITECTURAL SITE PLAN
A-101 REMOVALS PLANS
A-102 RENOVATION PLANS
A-200 ELEVATIONS REMOVALS
A-601 SCHEDULES

**SECTION 01 50 00
TEMPORARY FACILITIES AND CONTROLS**

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Temporary utilities.
- B. Temporary sanitary facilities.
- C. Temporary Controls: Barriers, enclosures, and fencing.
- D. Waste removal facilities and services.

1.02 TEMPORARY UTILITIES - SEE SECTION 01 51 00

- A. Provide and pay for all electrical power, lighting, water, heating and cooling, and ventilation required for construction purposes.

1.03 TEMPORARY SANITARY FACILITIES

- A. Provide and maintain required facilities and enclosures. Provide at time of project mobilization.
- B. Maintain daily in clean and sanitary condition.

1.04 BARRIERS

- A. Provide barriers to prevent unauthorized entry to construction areas, to prevent access to areas that could be hazardous to workers or the public, to allow for owner's use of site and to protect existing facilities and adjacent properties from damage from construction operations and demolition.
- B. Provide barricades and covered walkways required by governing authorities for public rights-of-way and for public access to existing building.
- C. Protect non-owned vehicular traffic, stored materials, site, and structures from damage.

1.05 VEHICULAR ACCESS AND PARKING

- A. Contractor and sub-contractors to coordinate access to shared driveway with neighbor.

1.06 WASTE REMOVAL

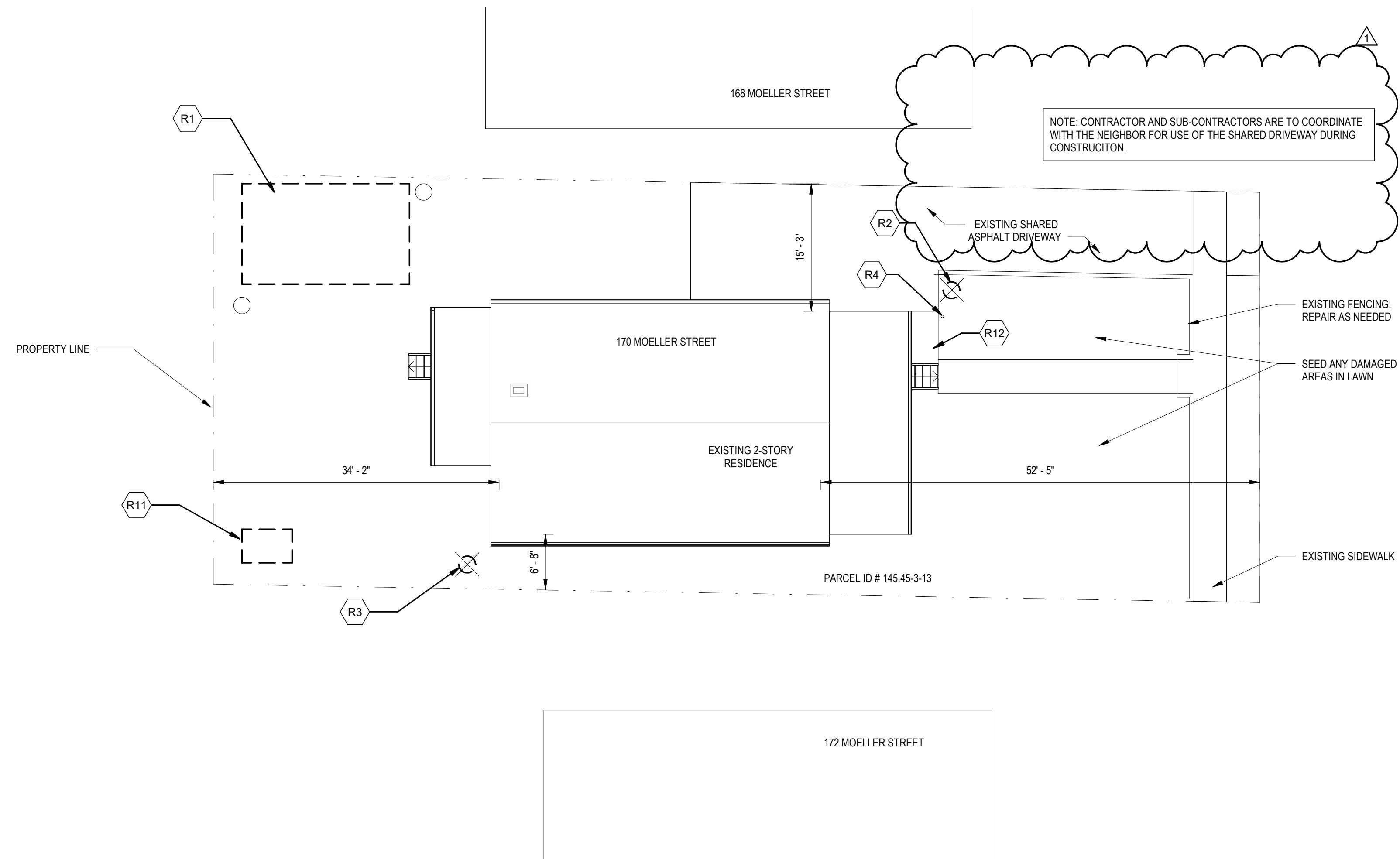
- A. Provide waste removal facilities and services as required to maintain the site in clean and orderly condition.
- B. Provide containers with lids. Remove trash from site periodically.
- C. If materials to be recycled or re-used on the project must be stored on-site, provide suitable non-combustible containers; locate containers holding flammable material outside the structure unless otherwise approved by the authorities having jurisdiction.
- D. Open free-fall chutes are not permitted. Terminate closed chutes into appropriate containers with lids.

PART 2 PRODUCTS - NOT USED

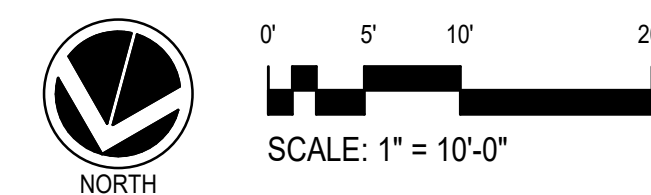
PART 3 EXECUTION - NOT USED

END OF SECTION

A-100 ARCH SITE PLAN KEY NOTES	
R1	EXISTING 1-STORY GARAGE TO BE REMOVED BY GC OR SUBCONTRACTOR
R2	GRUB SHRUBS AND REMOVE DEBRIS
R3	GRUB TREE AND REMOVE DEBRIS
R4	REMOVE FENCE POST
R11	REMOVE DOG HOUSE AND DEBRIS
R12	REPAIR CONCRETE WALK AS NEEDED



1 ARCHITECTURAL SITE PLAN
A-100 SCALE: 1" = 10'-0"



Key Plan

SCALE: X"-X"

No.	Revision	Date
1	ADDENDUM 1	2024.11.18

Project Name
 BROOME COUNTY LAND BANK CORPORATION
 170 MOELLER ST. RENOVATION
 170 MOELLER ST.
 BINGHAMTON, NY 13904

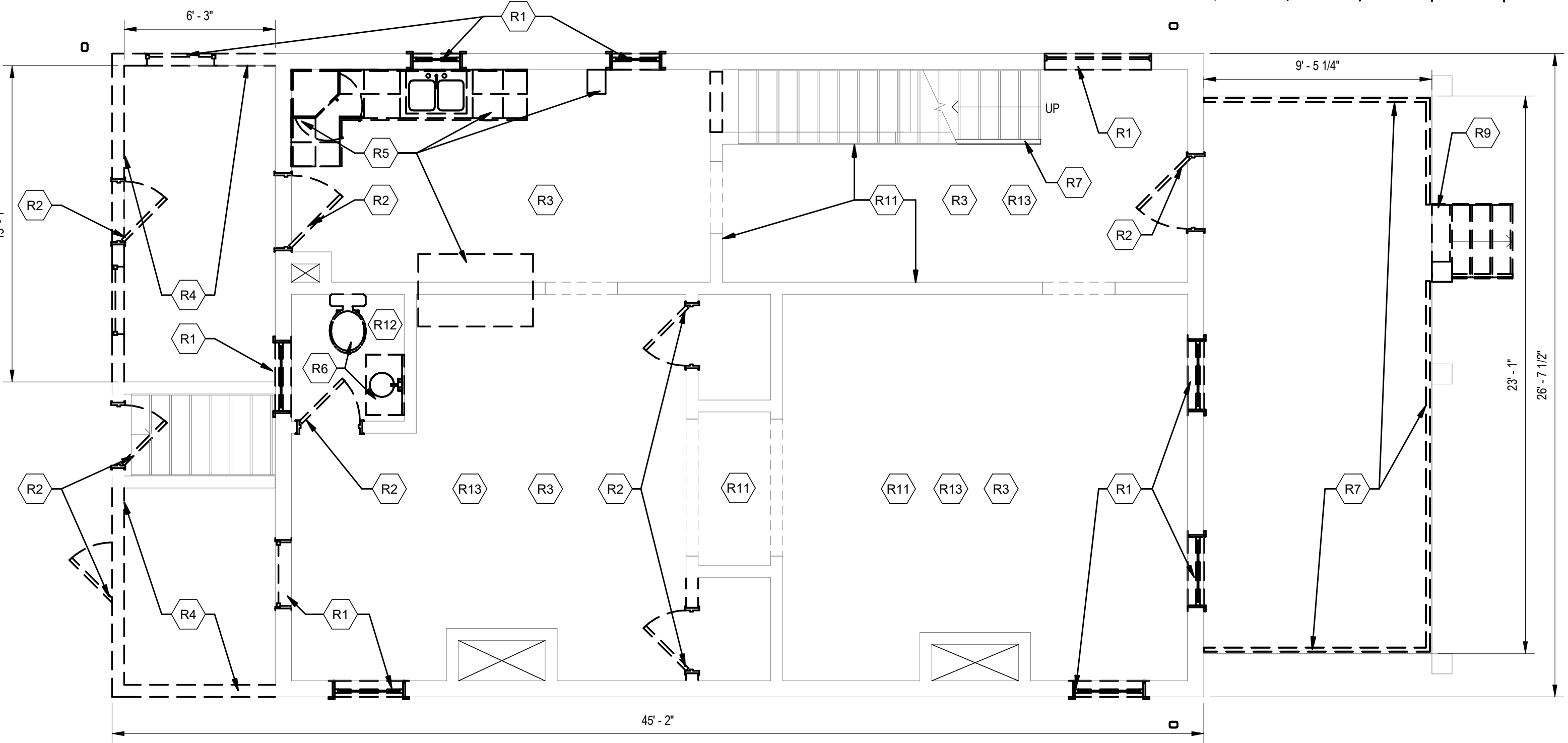
DELTA
 ENGINEERS, ARCHITECTS, & SURVEYORS
 860 Hooper Road
 Endwell, New York 13760
 Tel: 607.231.6600
 Fax: 607.231.6650
 Email: mail@delta-eas.com
 www.delta-eas.com
 CERTIFICATE OF AUTHORIZATION #: 91998

Seal 	Phase ISSUE FOR PERMIT
	Project No. 2022.311.003
Date 2024.10.11	Authored/Alteration of this drawing is authorization of the New York State Education Law, Section 209a, Subdivision 2.
Dwg By BH	Ckd By CSL

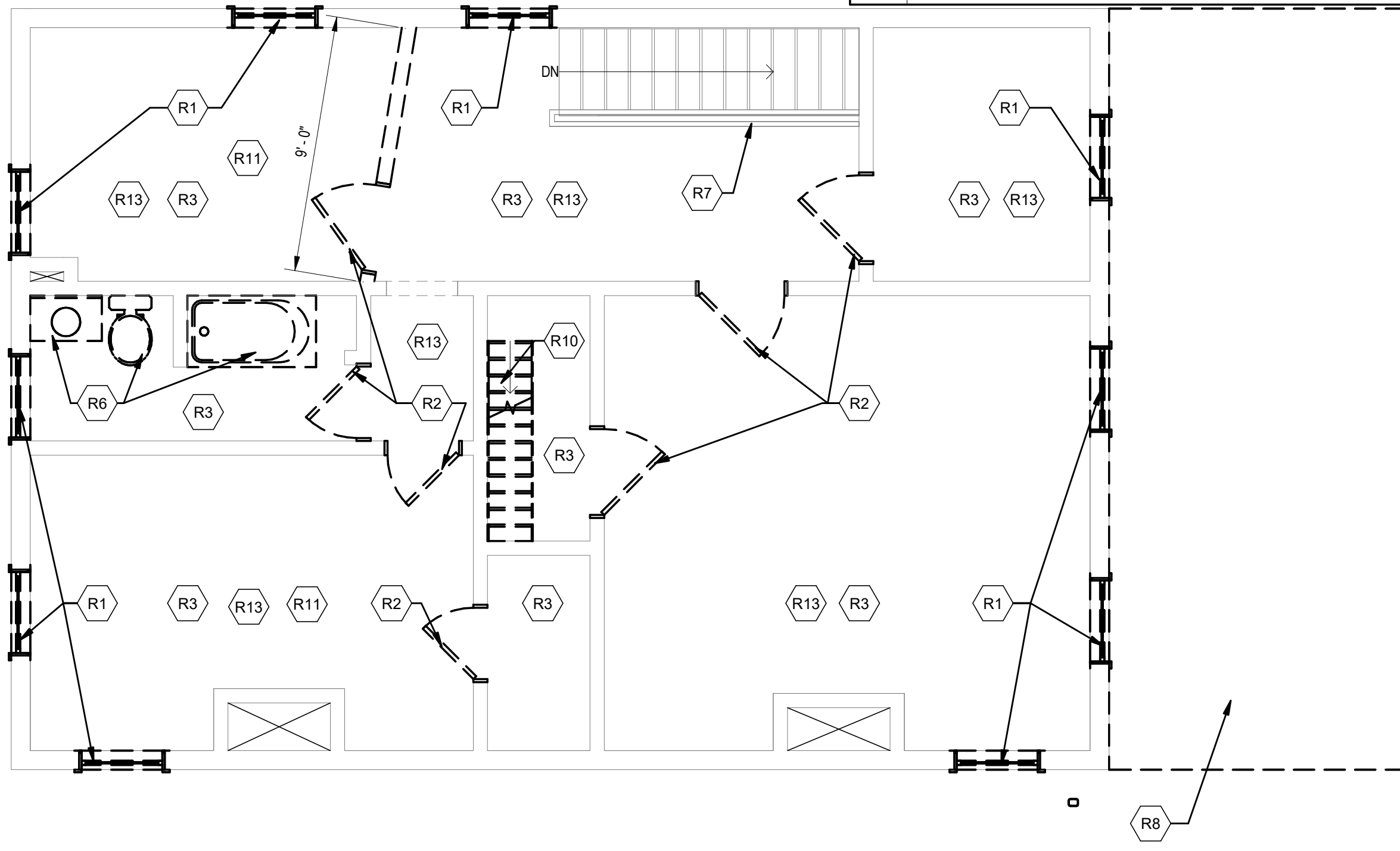
Drawing Title
 ARCHITECTURAL SITE PLAN

Drawing No.
A-100

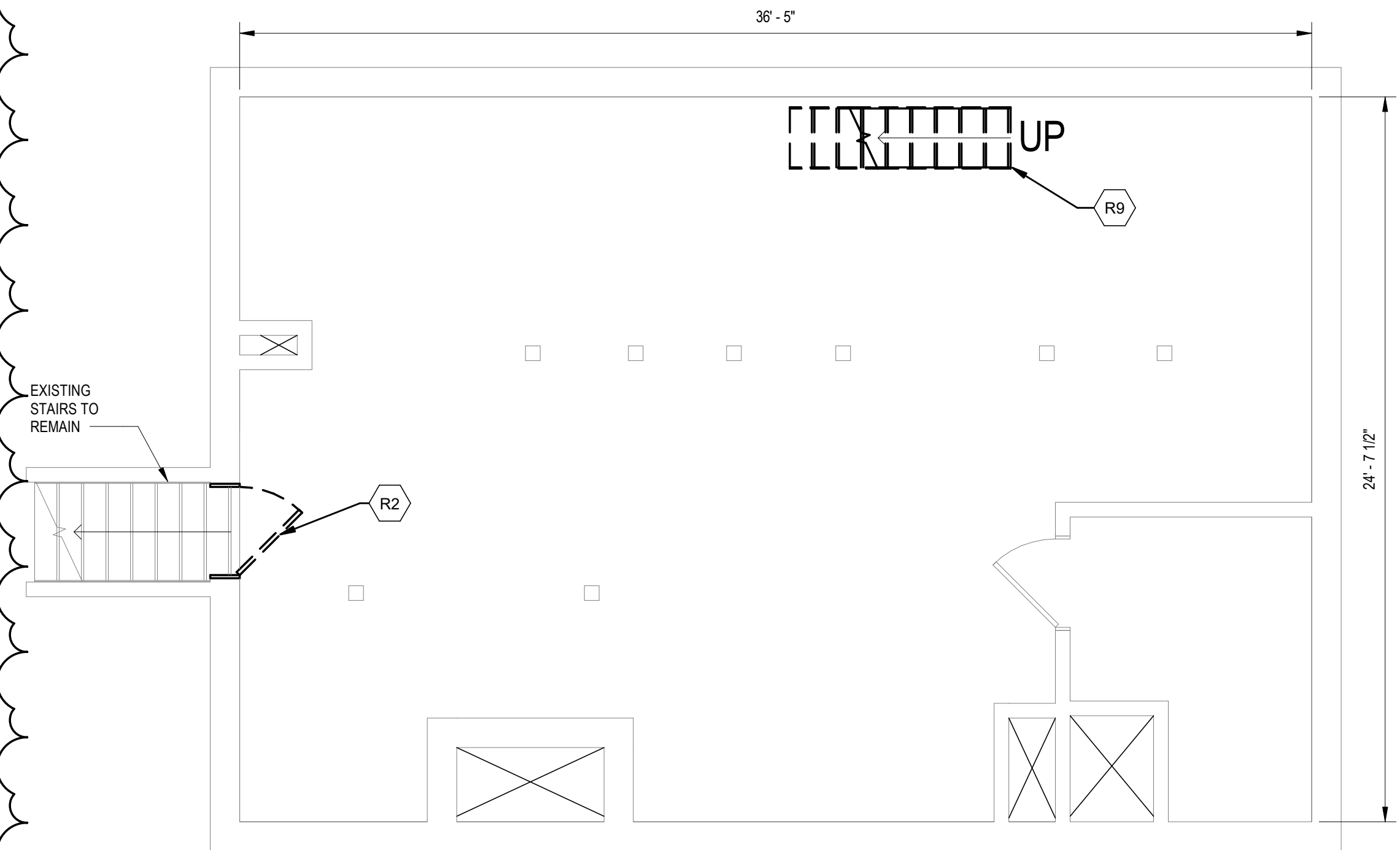
R#	A-101 REMOVAL KEY NOTES
R1	REMOVE EXISTING WINDOW AND FRAME
R2	REMOVE EXISTING DOOR, FRAME, AND ALL HARDWARE
R3	REMOVE FLOOR FINISHES DOWN TO SUBFLOOR
R4	REMOVE PORTION OF WALL AS NEEDED FOR NEW OPENING. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.
R5	REMOVE EXISTING CABINETS AND COUNTERTOPS
R6	REMOVE EXISTING PLUMBING FIXTURES AND TOILET ACCESSORIES
R7	REMOVE EXISTING WOOD RAILING
R8	REMOVE EXISTING GUTTERS, DOWNSPOUTS, DRIPEDGES, AND ROOFING DOWN TO SHEATHING
R9	REMOVE EXISTING WOOD STAIRS AND RAILING
R10	REMOVE STAIRS TO ATTIC
R11	REMOVE EXISTING WALL PANELING
R12	REMOVE EXISTING WAINSCOTING
R13	REMOVE EXISTING WALL BASEBOARD TRIM



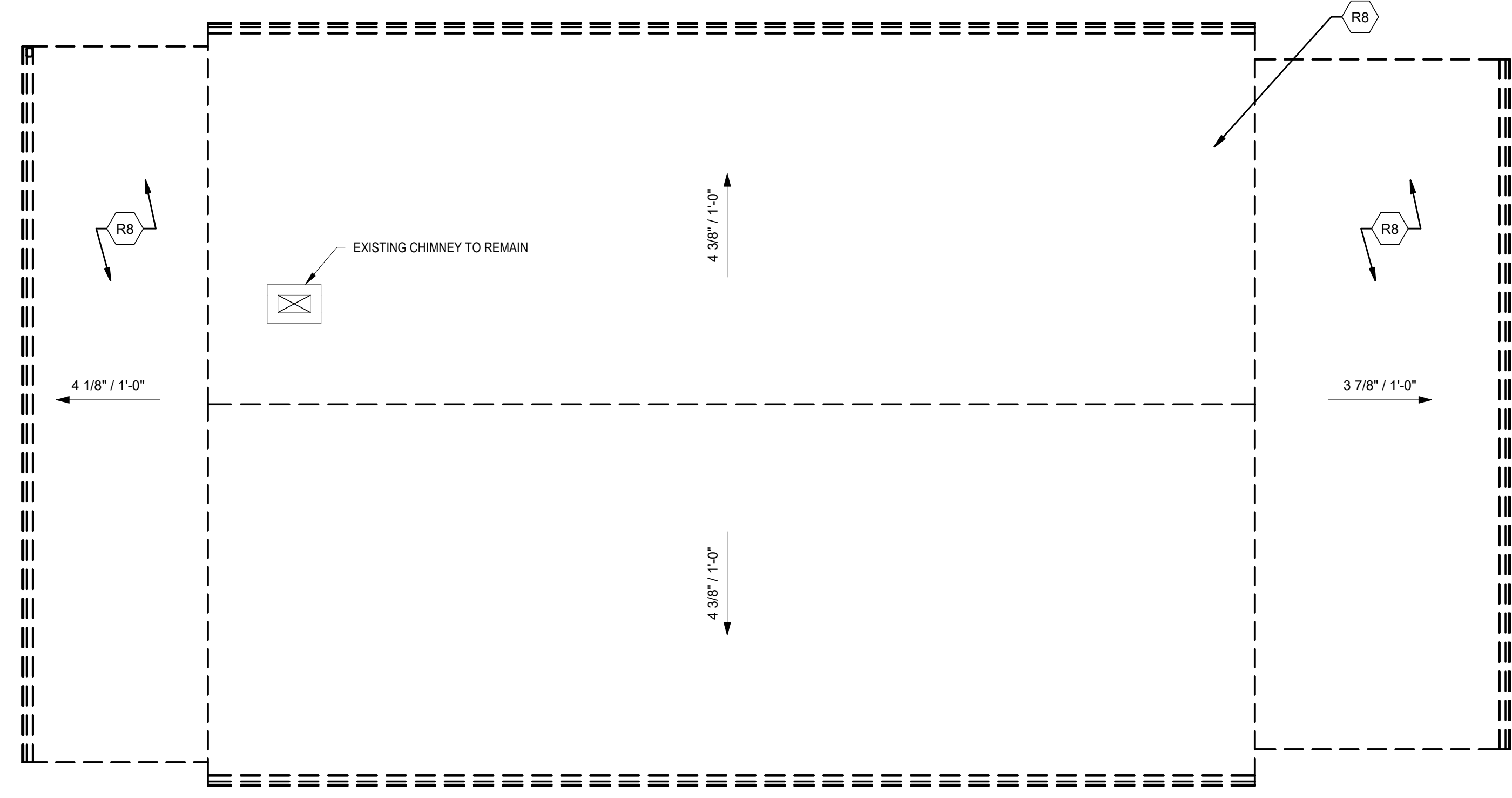
1 FIRST FLOOR REMOVALS PLAN
A-101 SCALE: 1/4" = 1'-0"



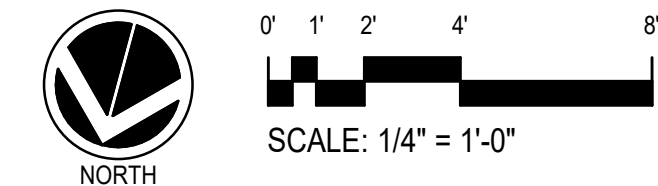
2 SECOND FLOOR REMOVALS PLAN
A-101 SCALE: 1/4" = 1'-0"



3 BASEMENT REMOVALS PLAN
A-101 SCALE: 1/4" = 1'-0"



4 ROOF REMOVALS PLAN
A-101 SCALE: 1/4" = 1'-0"



Key Plan

SCALE: X"=X"

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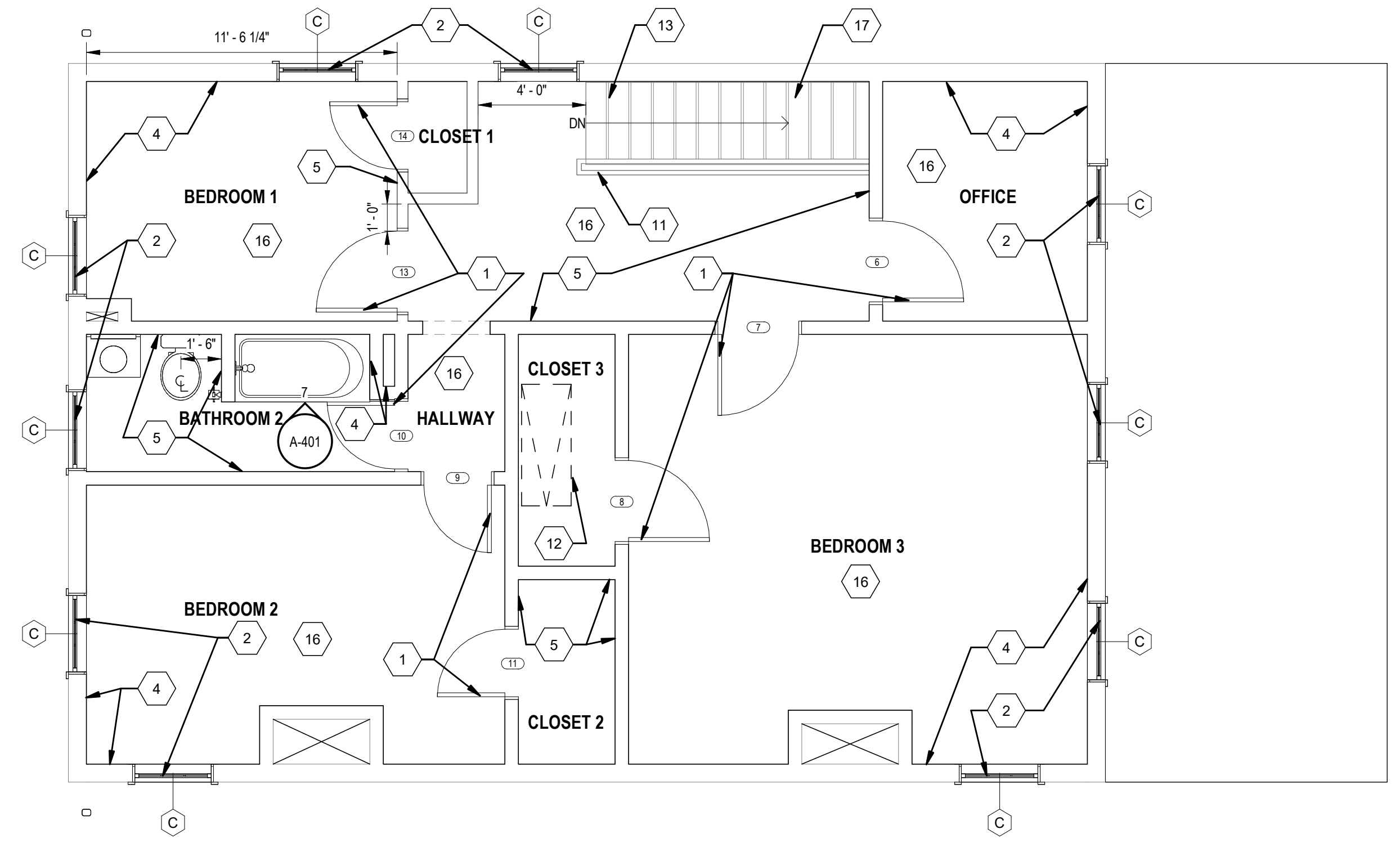
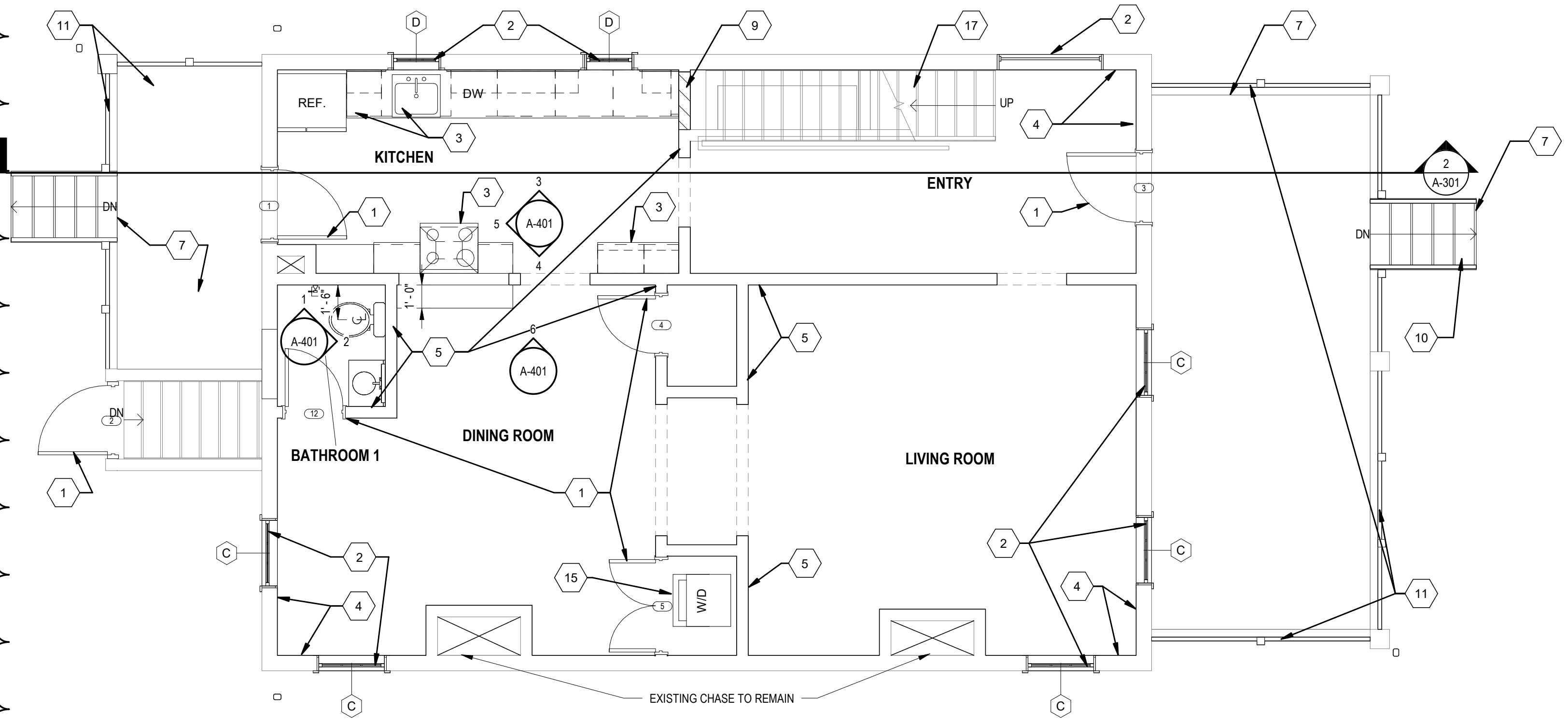
Drawing Title
REMOVALS PLANS

Drawing No.
A-101

NOTES:
 1. APPLIANCES PROVIDED BY OWNER AND INSTALLED BY GENERAL CONTRACTOR.

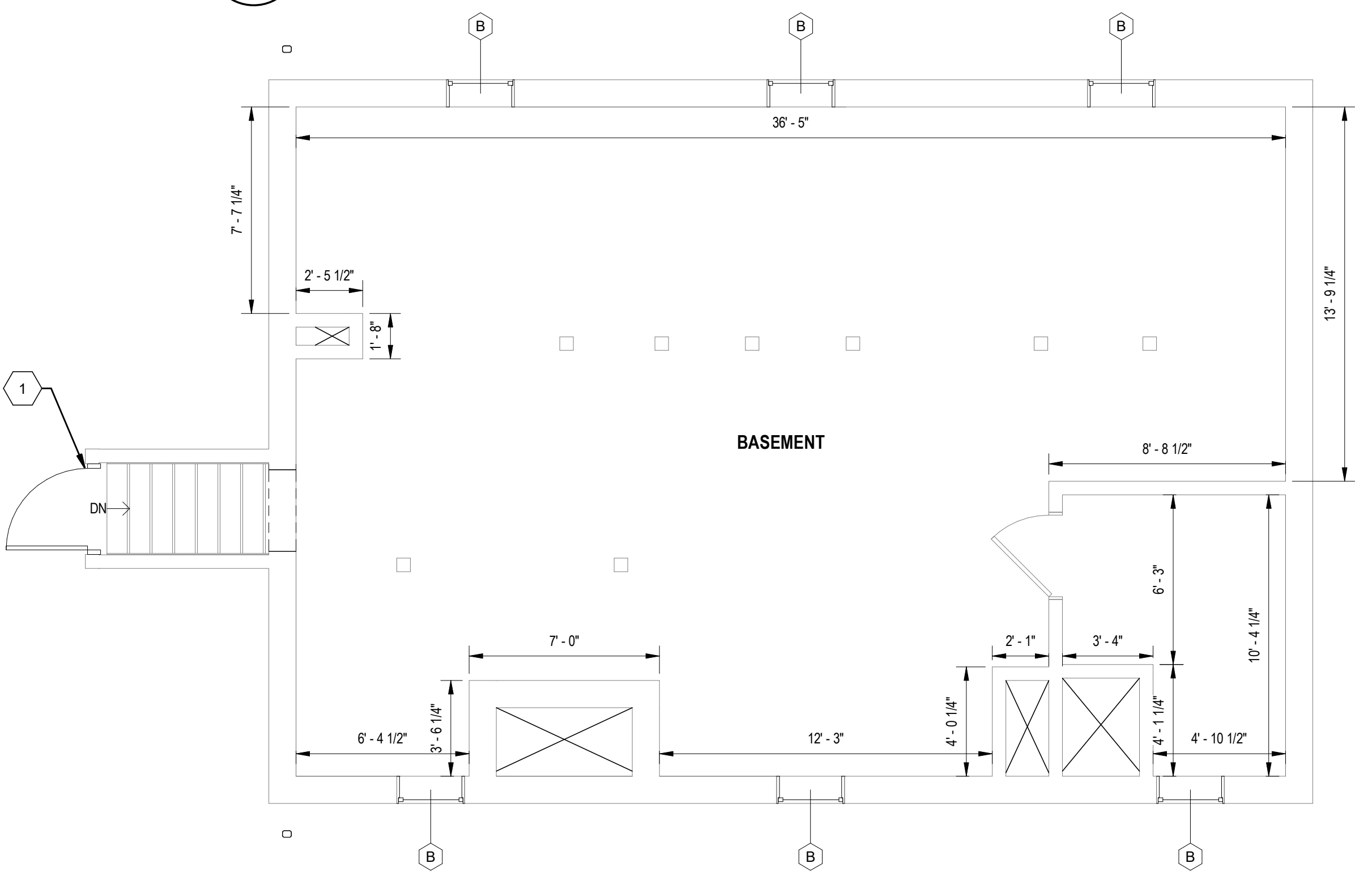
- # A-102 RENOVATION KEY NOTES**
1. PROVIDE DOOR AND FRAME AT EXISTING OPENING COMPLETE WITH INTERIOR TRIM, PRIME AND PAINT. SEE SCHEDULE FOR MORE INFORMATION.
 2. PROVIDE WINDOW AND FRAME COMPLETE WITH INTERIOR TRIM AT EXISTING OPENING. PRIME AND PAINT WINDOW SILL, TRIM, AND APRON. SEE SCHEDULE FOR MORE INFORMATION.
 3. PROVIDE BASE WALL, KITCHEN CABINETS, PLAM COUNTER TOP AND BACKSPLASH, SINK, AND RANGE HOOD.
 4. PROVIDE 5/8" G.W.B. ON ONE SIDE OF WALL. TAPE ALL JOINTS, PRIME AND PAINT. PLASTER TO BE COVERED BY DRYWALL.
 5. PROVIDE 5/8" G.W.B. ON TWO SIDES OF WALL. TAPE ALL JOINTS, PRIME AND PAINT. PLASTER TO BE COVERED BY DRYWALL.
 6. PROVIDE ASPHALT SHINGLES AND UNDERLAYMENT, DRIP EDGE, GUTTERS, DOWNSPOUTS, AND FLASHINGS.
 7. PROVIDE COMPOSITE DECK BOARDS AT PORCH AND STAIR TREADS.

- # A-102 RENOVATION KEY NOTES**
8. PROVIDE NEW GUTTERS AND DOWNSPOUTS.
 9. INFILL EXISTING OPENING WITH WOOD STUD AND GYPSUM WALL BOARD EACH SIDE. TAPE ALL JOINTS, PRIME, AND PAINT.
 10. PROVIDE, PRIME AND PAINT WOOD STAIRS AND RAILING.
 11. PROVIDE, PRIME AND PAINT WOOD RAILINGS.
 12. PROVIDE INSULATED PULL-DOWN ATTIC LADDER.
 13. PREPARE, PRIME, AND PAINT EXISTING STAIR TREADS AND RISERS.
 14. INSTALL ICE & WATER SHIELD AT ROOF PERIMETER.
 15. STACKABLE WASHER AND DRYER COMBO TO BE FURNISHED AND INSTALLED BY FUTURE HOMEOWNER.
 16. NEW PAINTED 1X4 WOOD WALL BASE.
 17. REPLACE STAIR TREADS AND MAKE LEVEL. PRIME AND PAINT.

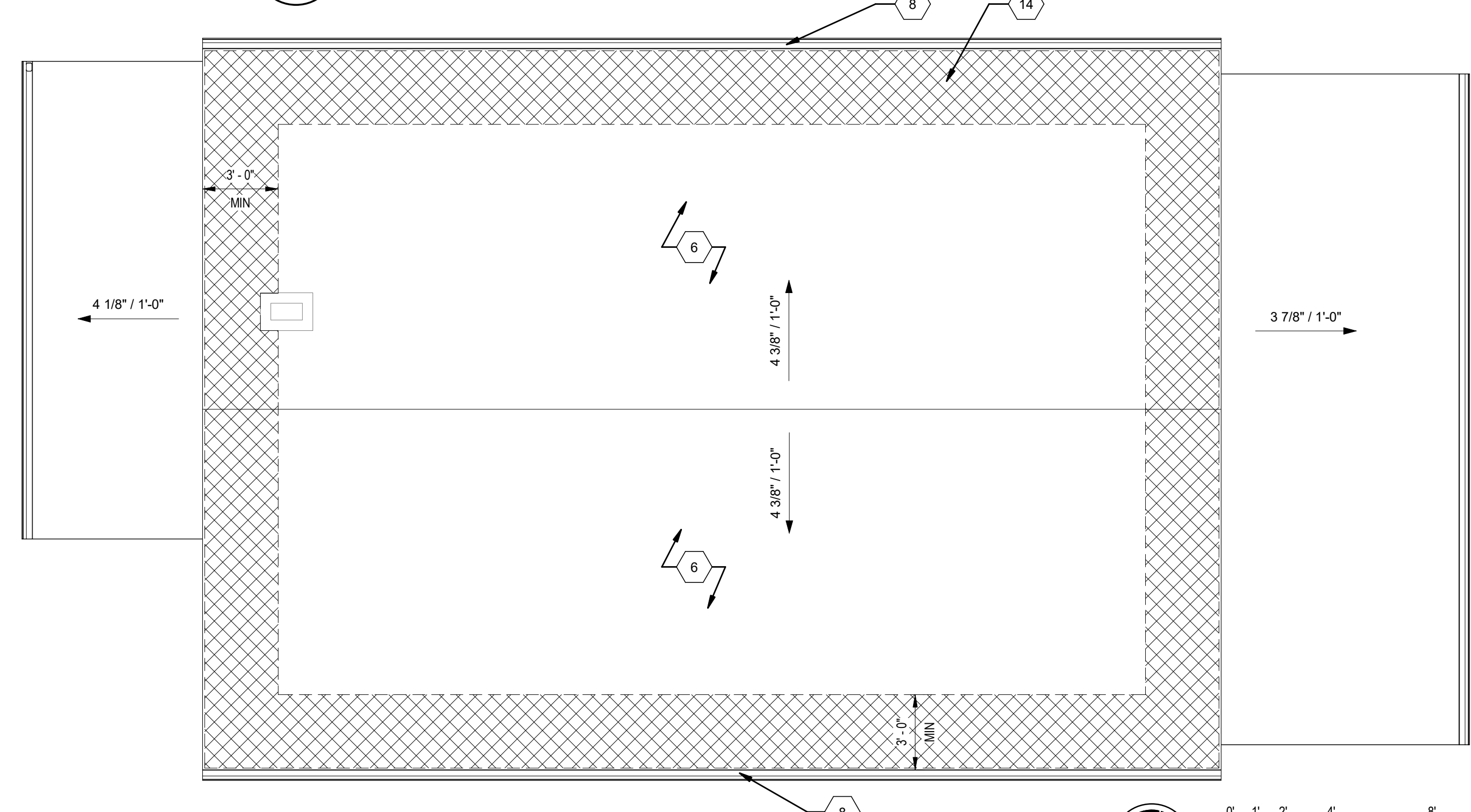


1 FIRST FLOOR RENOVATION PLAN
 A-102 SCALE: 1/4" = 1'-0"

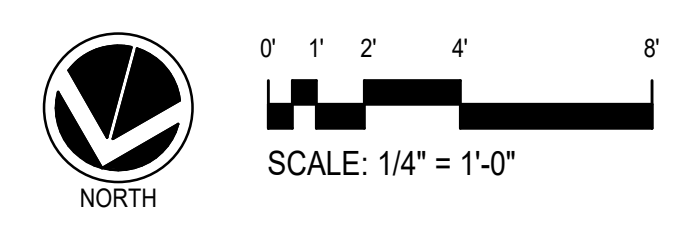
2 SECOND FLOOR RENOVATIONS PLAN
 A-102 SCALE: 1/4" = 1'-0"



3 BASEMENT RENOVATION PLAN
 A-102 SCALE: 1/4" = 1'-0"



4 ROOF RENOVATION PLAN
 A-102 SCALE: 1/4" = 1'-0"



Key Plan

SCALE: X"-X"

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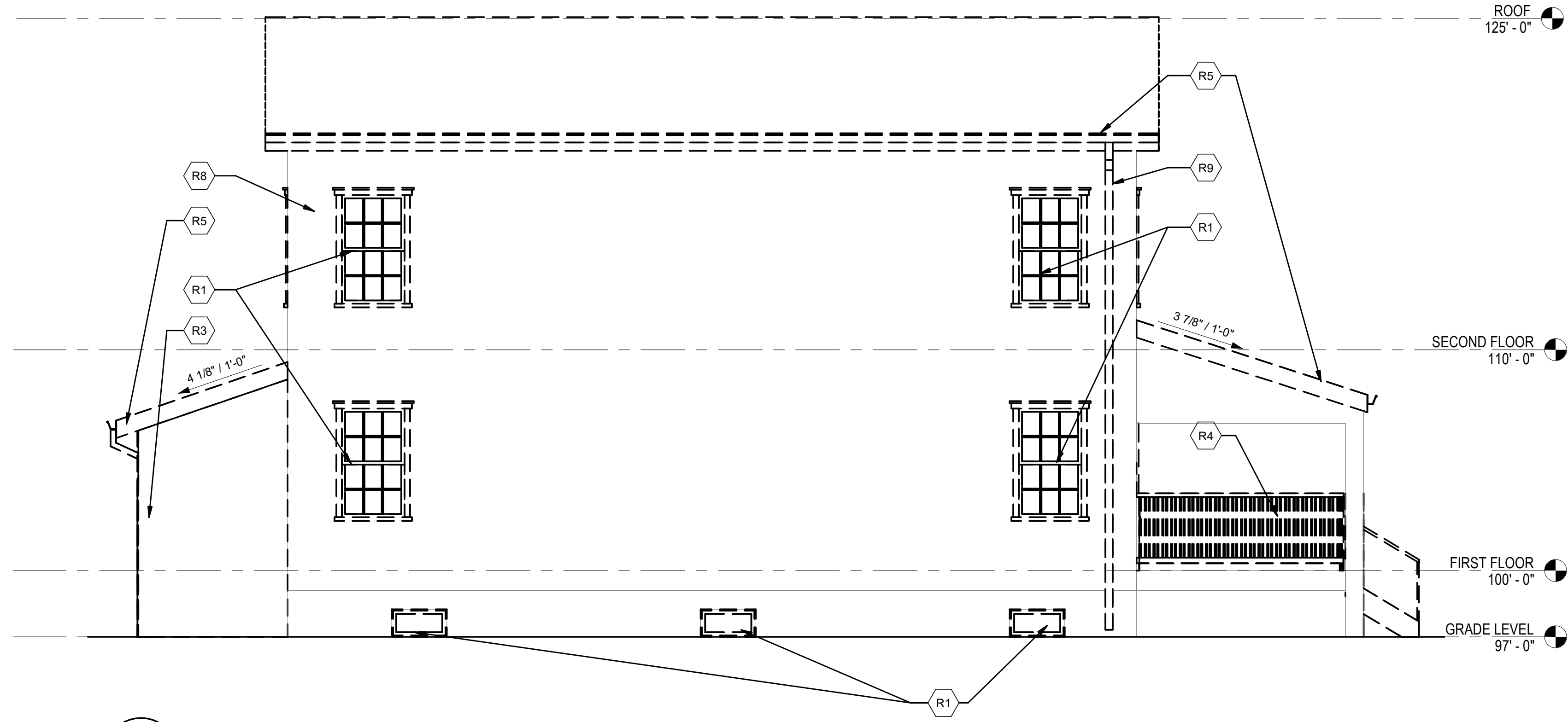
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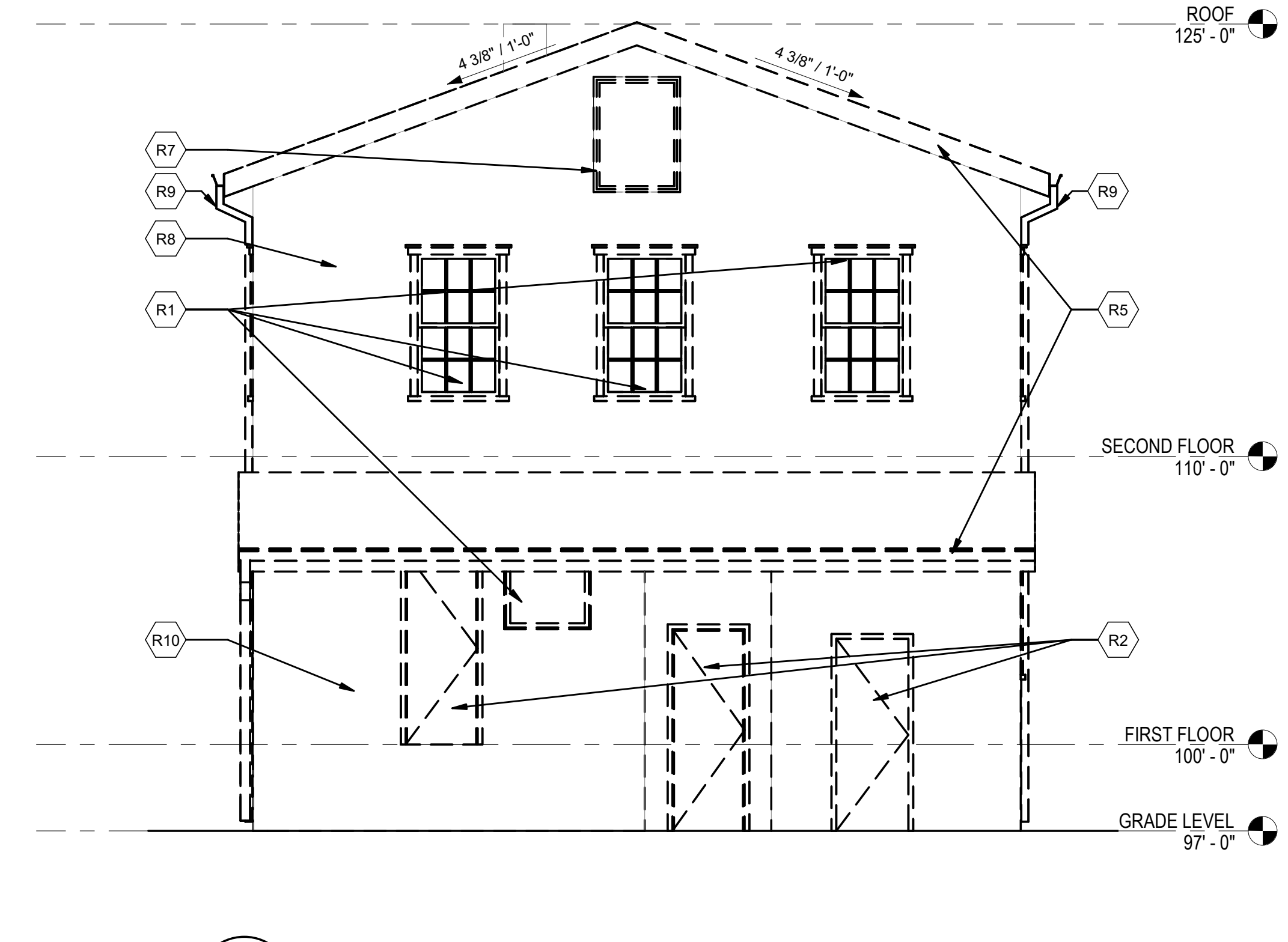
Drawing Title
RENOVATION PLANS

Drawing No.
A-102

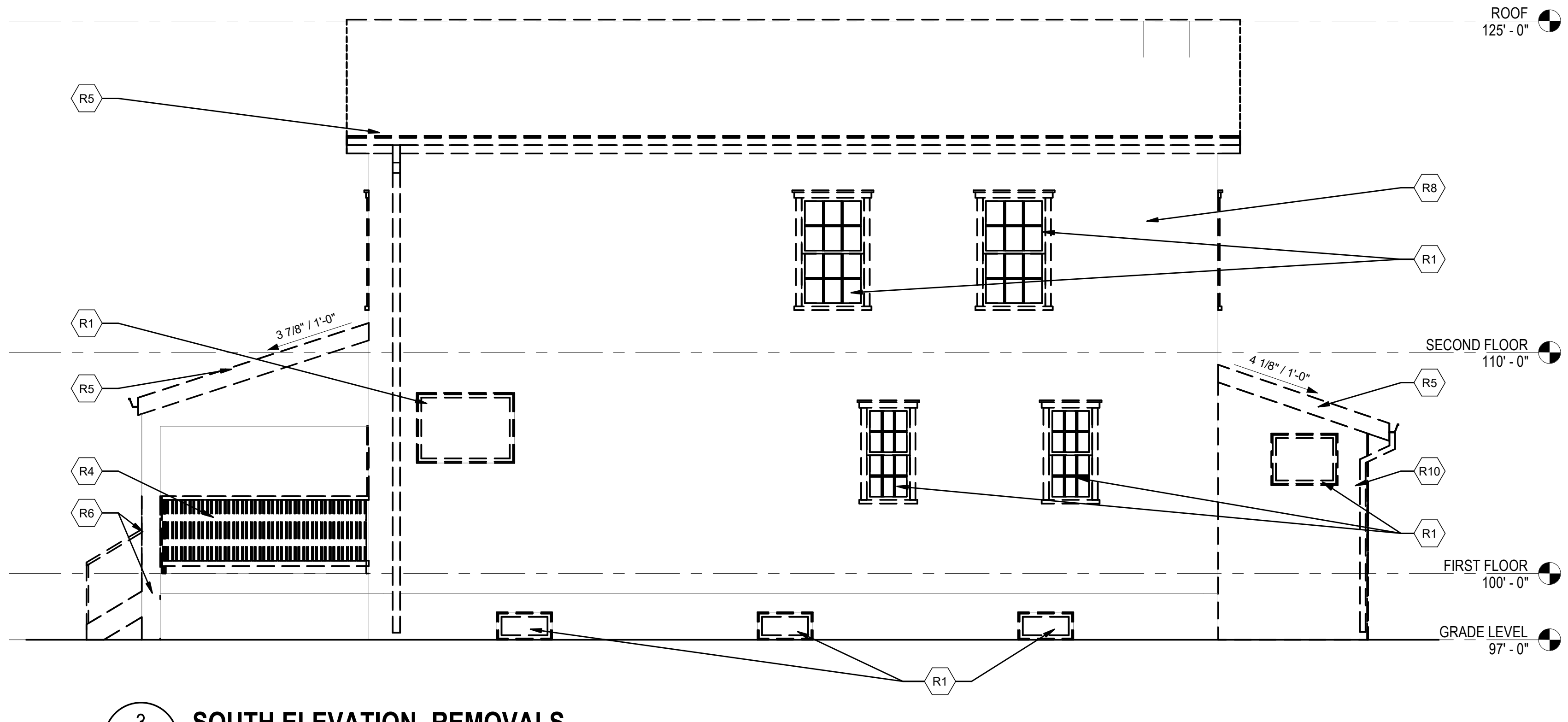
R#	A-200 REMOVAL KEY NOTES
R1	REMOVE EXISTING WINDOW AND FRAME
R2	REMOVE EXISTING DOOR, FRAME, AND ALL HARDWARE
R3	REMOVE PORTION OF WALL AS NEEDED FOR NEW OPENING. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION
R4	REMOVE EXISTING WOOD ROOFING
R5	REMOVE EXISTING ROOFING DOWN TO SHEATHING. REPLACE DAMAGED SHEATHING AS NECESSARY TO COMPLETE THE WORK.
R6	REMOVE EXISTING WOOD STAIRS AND RAILING
R7	REMOVE FRAME AND ALL HARDWARE
R8	REMOVE SIDING TO EXISTING SHEATHING/SUBSTRATE. REPLACE DAMAGED SHEATHING AS NECESSARY TO COMPLETE THE WORK.
R9	REMOVE EXISTING GUTTER AND DOWNSPOUTS
R10	REMOVE WALL AND DECK SKIRTING IN ITS ENTIRETY.



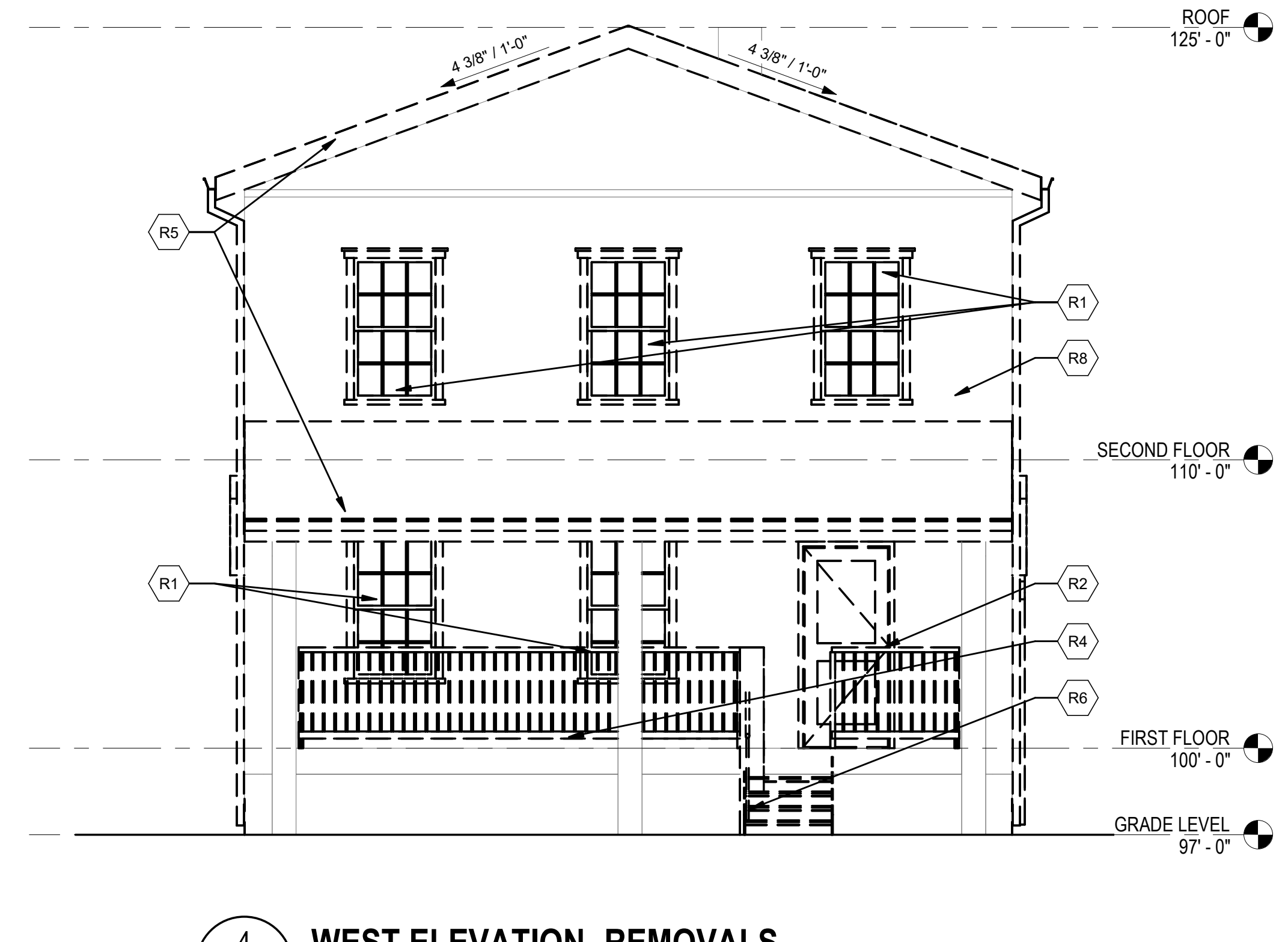
1 NORTH ELEVATION- REMOVALS
A-200 SCALE: 1/4" = 1'-0"



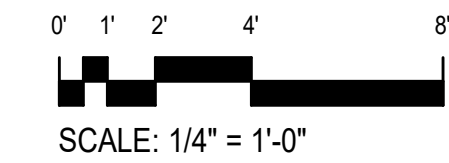
2 EAST ELEVATION- REMOVALS
A-200 SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION- REMOVALS
A-200 SCALE: 1/4" = 1'-0"



4 WEST ELEVATION- REMOVALS
A-200 SCALE: 1/4" = 1'-0"



Key Plan

SCALE: X"-X"

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1	ADDENDUM 1	2024.11.18

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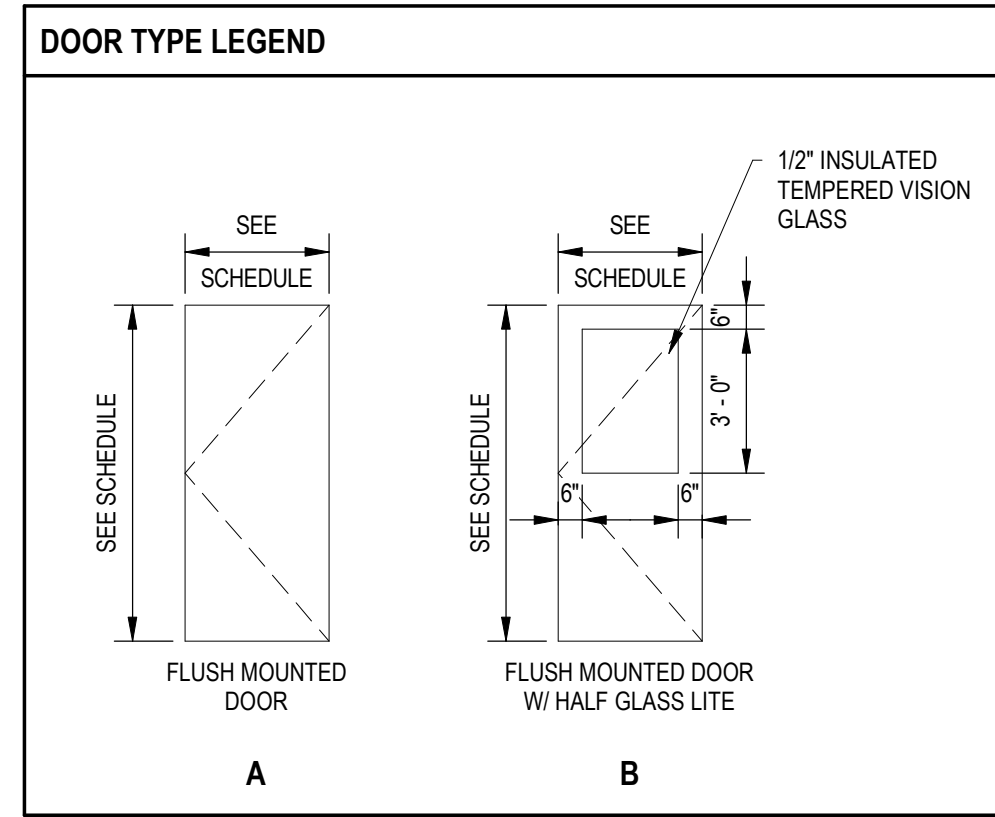
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Seal: REGISTERED ARCHITECT, BROOME COUNTY, STATE OF NEW YORK

Phase: ISSUE FOR PERMIT
 Project No.: 2022.311.003
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 Dig By: BH, Ckd By: CSL

Drawing Title
ELEVATION REMOVALS

Drawing No.
A-200



DOOR SCHEDULE

DOOR NUMBER	DOOR TYPE	OPENING SIZE			THICKNESS	DOOR				FRAME		COMMENTS
		HEIGHT	WIDTH			DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH			
1	B	6'-8"	3'-0"		1 3/8"	WOOD	PREFINISHED	WOOD	PAINT			INSULATED
2	A	6'-8"	3'-0"		1 3/8"	WOOD	PREFINISHED	WOOD	PAINT			INSULATED
3	B	6'-8"	3'-0"		1 3/8"	WOOD	PREFINISHED	WOOD	PAINT			INSULATED
4	A	6'-8"	2'-6"		1 3/8"	WOOD	NAT. F.F.	WOOD	PAINT			
5	A	6'-8"	4'-0"		1 3/8"	WOOD	NAT. F.F.	WOOD	PAINT			
6	A	6'-8"	3'-0"		1 3/8"	WOOD	NAT. F.F.	WOOD	PAINT			
7	A	6'-8"	3'-0"		1 3/8"	WOOD	NAT. F.F.	WOOD	PAINT			
8	A	6'-8"	3'-0"		1 3/8"	WOOD	NAT. F.F.	WOOD	PAINT			
9	A	6'-8"	2'-6"		1 3/8"	WOOD	NAT. F.F.	WOOD	PAINT			
10	A	6'-8"	2'-6"		1 3/8"	WOOD	NAT. F.F.	WOOD	PAINT			
11	A	6'-8"	2'-6"		1 3/8"	WOOD	NAT. F.F.	WOOD	PAINT			
12	A	6'-8"	2'-6"		1 3/8"	WOOD	NAT. F.F.	WOOD	PAINT			
13	A	6'-8"	3'-0"		1 3/8"	WOOD	NAT. F.F.	WOOD	PAINT			
14	A	6'-8"	2'-6"		1 3/8"	WOOD	NAT. F.F.	WOOD	PAINT			

WINDOW SCHEDULE

WINDOW TAG	TYPE	ROUGH OPENING		COMMENTS
		WIDTH	HEIGHT	
A	Fixed	4'-5"	3'-2"	PROVIDE JAMB EXTENSIONS TO ACCOMMODATE INCREASED EXTERIOR WALL THICKNESS.
B	Awning	2'-6"	1'-3"	PROVIDE JAMB EXTENSIONS TO ACCOMMODATE INCREASED EXTERIOR WALL THICKNESS.
C	Double_Hung_Grid_5-Piece-Trim	3'-0"	6'-0"	PROVIDE JAMB EXTENSIONS TO ACCOMMODATE INCREASED EXTERIOR WALL THICKNESS.
D	Double_Hung_Grid_5-Piece-Trim	2'-1 1/2"	6'-0"	PROVIDE JAMB EXTENSIONS TO ACCOMMODATE INCREASED EXTERIOR WALL THICKNESS.

ROOM FINISH SCHEDULE LEGEND

MATERIAL / FINISH NAME	DESCRIPTION
CFT	CERAMIC FLOOR TILE
CMU	CONCRETE MASONRY UNITS
CONC.	CONCRETE
EX.	EXISTING
GWB	GYPSUM WALL BOARD
LVT	LUXURY VINYL TILE
PNT	PAINT

ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR		BASE	WALLS								CEILING		COMMENTS
		MATERIAL	FINISH		NORTH		SOUTH		EAST		WEST		MATERIAL	FINISH	
					MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH			
000	BASEMENT	EX. CONC.	-	-	EX. CONC.		EX. CONC.		EX. CONC.		EX. CONC.		EX. CONC.		
101	ENTRY	EX. PLYWD	LVT	WD	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
102	LIVING ROOM	EX. PLYWD	LVT	WD	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
103	DINING ROOM	EX. PLYWD	LVT	WD	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
104	BATHROOM 1	EX. PLYWD	CFT	CFT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	1,2
105	KITCHEN	EX. PLYWD	LVT	WD	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	1,2
200	HALLWAY	EX. PLYWD	LVT	WD	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
201	BEDROOM 1	EX. PLYWD	LVT	WD	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
202	BATHROOM 2	EX. PLYWD	CFT	CFT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	1,2
203	BEDROOM 2	EX. PLYWD	LVT	WD	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
204	CLOSET 2	EX. PLYWD	LVT	WD	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
205	BEDROOM 3	EX. PLYWD	LVT	WD	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
206	CLOSET 3	EX. PLYWD	LVT	WD	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
207	OFFICE	EX. PLYWD	LVT	WD	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	
208	CLOSET 1	EX. PLYWD	LVT	WD	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	GWB	PNT	

NOTE:

1. PROVIDE CEMENTITIOUS BOARD PER TILE MANUFACTURERS REQUIREMENTS. LEVEL FLOOR AS NEEDED FOR INSTALLATION.
2. PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD AT WALLS AND CEILINGS.

Key Plan

SCALE: X"-X"

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Seal: REGISTERED ARCHITECT, CLAUDIUS HOOPER LYCIC, STATE OF NEW YORK, 041210

Phase: **ISSUE FOR PERMIT**
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Drawing Title
SCHEDULES

Drawing No.
A-601